

**TOWN OF HIGH LEVEL
DEVELOPMENT PERMIT**

PERMIT NO.:	DP25-007
PROPOSED USE:	Permitted Use with Variance– 6,257 ft² 120 Child Daycare & 2 Unit Apartment Above (Day Care Facility & Dwelling, Multi Unit above Ground Floor) with 5% Variance to Rear Yard Setback, 2.4% Variance to Minimum Parking Stalls, 3% Variance to Minimum Aisle Width, & 20% Variance to Maximum Fence Height
APPLICANT:	Srayesh Patel
LANDOWNER:	2656200 Alberta Ltd., Alphabet Daycare
LOCATION:	Lot 9, Block 7, Plan 082 1482 & Lot 1, Block 7, Plan 3510KS

A development involving Application No. DP25-007 has been Approved with Conditions.

1. The site shall be developed in accordance with the site drawings and information attached hereto as Schedule A.
2. The Applicant/Registered Owner shall, within one (1) year from the Date of Issue, consolidate all of Lot 9, Block 7, Plan 082 1482 and all of Lot 1, Block 7, Plan 3510KS and provide the Development Authority with a copy of the Certificate of Title.
3. Prior to occupancy of the development, the Registered Owner/Applicant shall obtain a post-construction Lot Grading Certificate, prepared by a registered Alberta Land Surveyor, and provide the Certificate to the Development Officer. The Lot Grading Certificate must demonstrate that the post-construction lot grades, drainage, and elevations are consistent with the approved Lot Grading and Drainage Plan attached hereto within Schedule A.
4. Development must be commenced within one (1) year from the Date of Issue. If at the expiry of this period, the development has not commenced, this Permit shall be null and void.
5. The Applicant/Registered Owner shall ensure there is no damage to municipal property resulting from this permit. Costs for repairs of municipal property will be assessed by the Town of High Level and will be charged back to the applicant.

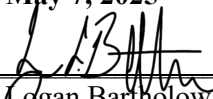
You are hereby authorized to proceed with the development specified, provided that any stated conditions are complied with, that all other applicable permits are obtained, and that the appropriate appeal period has been exhausted. Should an appeal be made against this decision to the Subdivision and Development Appeal Board, this Development Permit shall not come into effect until the appeal has been determined and the Permit upheld, modified or nullified.

DATE OF DECISION OF DEVELOPMENT PERMIT: **April 15, 2025**

DATE OF ISSUE OF DEVELOPMENT PERMIT: **April 15, 2025**

DATE OF VALIDITY OF DEVELOPMENT PERMIT: **May 7, 2025**

SIGNATURE OF DEVELOPMENT AUTHORITY:



Logan Bartholow

NOTES:

1. If the development is found to be incorrectly placed, the applicant may be required to move or remove the development at the sole expense of the Applicant/Registered Owner. Any changes to the attached plans will require a new development permit.
2. An appeal can be made by filing a written notice of appeal along with payment to the **Subdivision and Development Appeal Board (10511 103rd Street, High Level, AB, T0H 1Z0)** within 21 days from the date of the receipt of this decision. In the case of an appeal made by a person referred to in section 685(2) of the *Municipal Government Act*, within 21 days after the date on which the notice of the issuance of the permit was given.
3. **This is a Development Permit ONLY.** Issuance of this Permit does not excuse the applicant from satisfying all other applicable municipal, provincial and/or federal requirements.
4. This Development Permit DOES NOT approve any signage. Any proposed signage on the property will require it's own Development Permit.

OTHER PERMITS ARE REQUIRED

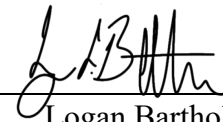
In the interest of public safety and as required by the Safety Codes Act construction permits must be obtained before commencing any work. Required permits may include building, electrical, gas, plumbing, and private sewage. Additionally, the Town of High Level requires permits for water & sewer connection, new accesses, and driveways.

PLEASE NOTE

The Applicant and/or Registered Owner are responsible for applying for, and receiving, all necessary permits prior to beginning construction. Ensure that you or your contractors obtain all other required permits related to the development. For more information regarding how to obtain the required permits, contact Superior Safety Codes 1-866-999-4777. If you are unsure which additional municipal permits you may need, please contact development@highlevel.ca.

SCHEDULE A

Approved April 15, 2025

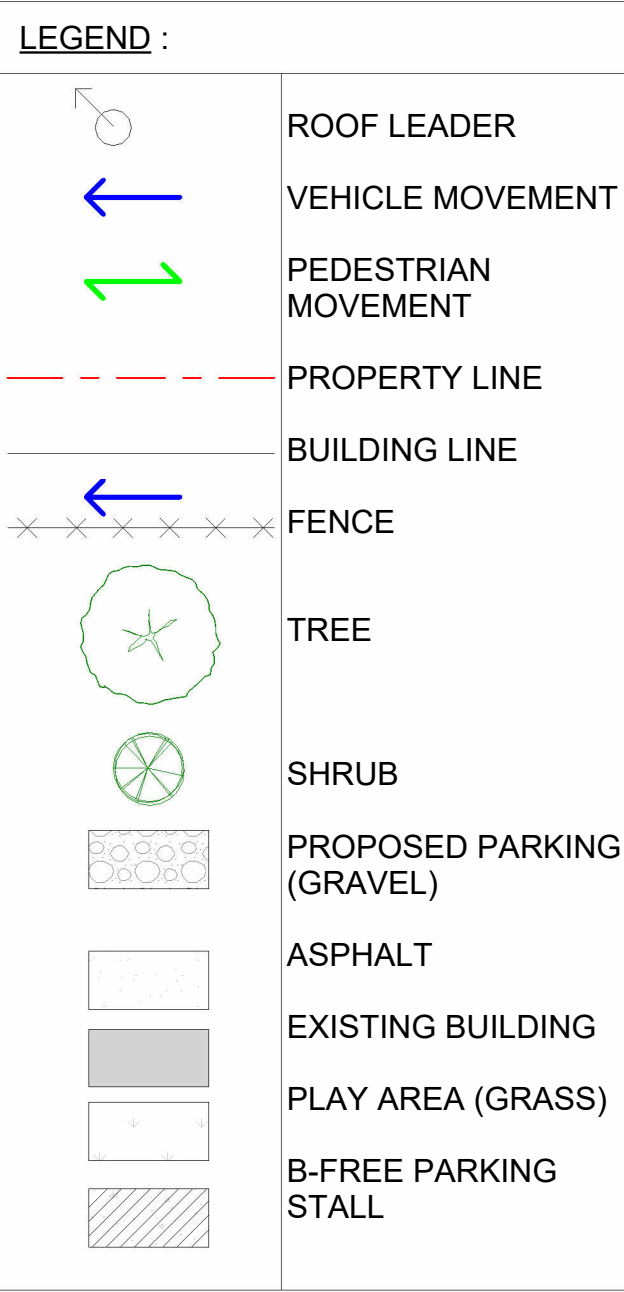
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(17 pages)

Logan Bartholow
Development Authority

LANE

DISCLAIMER: CONTRACTOR / BUILDER SHALL VERIFY ALL SPECIFICATIONS AND DIMENSIONS BEFORE COMMENCING CONSTRUCTION AND REPORT ERRORS OR OMISSIONS TO THIS OFFICE. ALL DIMENSIONS SHALL BE READ NOT TO SCALE.



9807 & 9809, 100 AVENUE,
HIGH LEVEL, , AB



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JOB# :SAD24-694-1

SITE PLAN

SHEET: A1.00

SCALE 1/8" = 1'-0"

Development Permit Application

General Development (Non-Residential)



Employees & Customers:

Total Staff Employed _____
Including Business Owner _____
Expected Daily Customers _____

Maximum Number of Staff
Present at any one Time _____
Expected Weekly Customers _____

Hours and Days of Operations: (Include if your operations will be seasonal)

Describe any storage structures and the nature of goods to be stored:

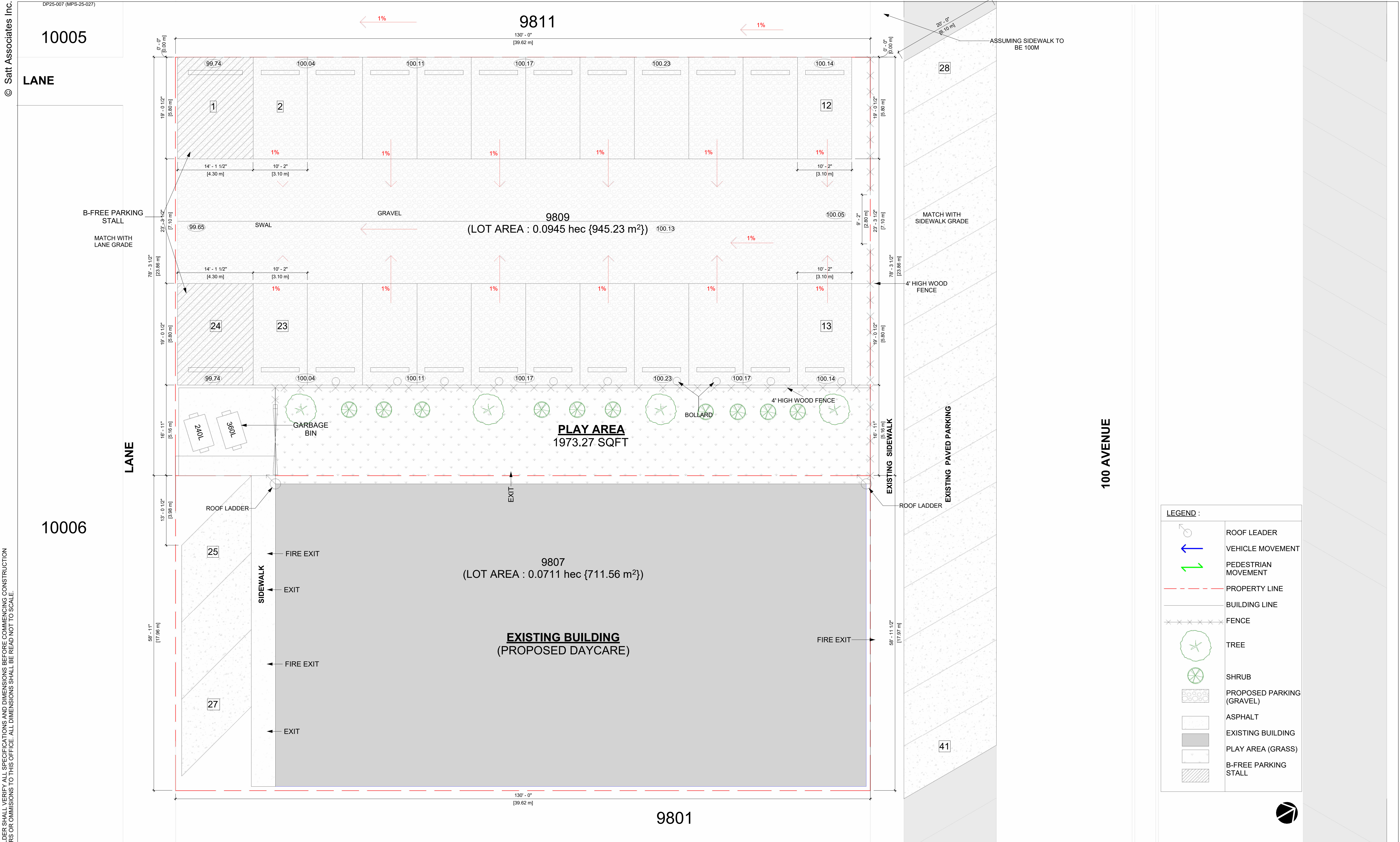
Will commercial vehicles be stored on site? How many and where?

What is your waste management plan?

How will local traffic be changed by this development?

Is the site open to the public? If so, what parts? (include dimensions)

Describe planned signage:



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A	SITE PLAN	13/02/25	PHP	DHB
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C	ISSUED FOR PERMIT	26/02/25	AVL	DHB
D	ISSUED FOR PERMIT	15/03/25	PHP	DHB
E	CHANGE IN FLOOR PLAN	20/03/25	PJP	DHB
F	GRADING PLAN	05/04/25	KRK	DHB
G	GRADING & DRAINAGE PLAN	11/04/25	PHP	DHB



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GRADING & DRAINAGE.

SHEET: A7.01

SCALE 1/8" = 1'-0"

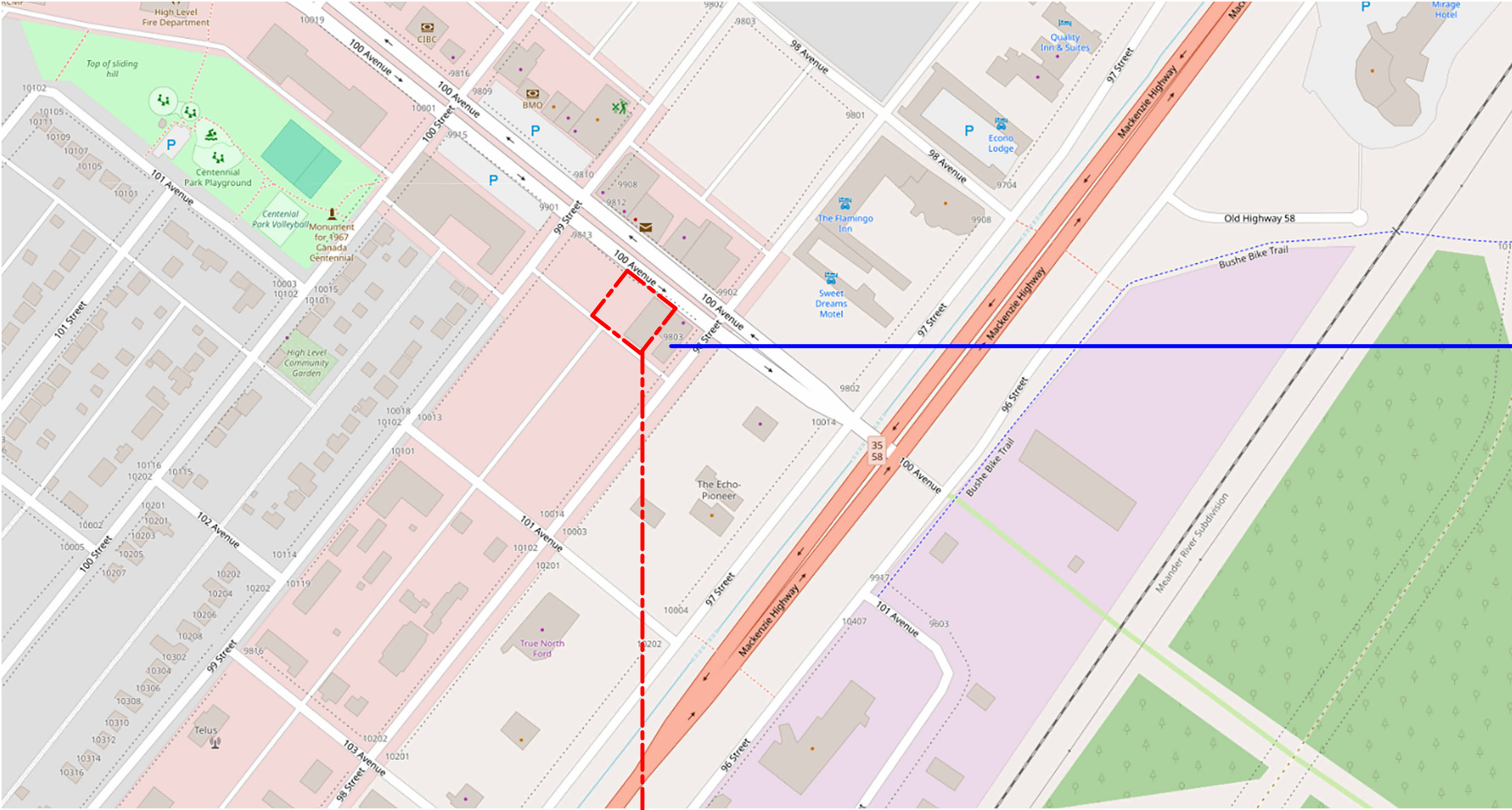
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KEY PLAN



SITE PLAN



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ARCHITECTURAL DRAWING LIST:

- A0.00 COVER PAGE
- A1.00 SITE PLAN
- A1.01 EGRESS & FIRE SAFETY PLAN (MAIN FLOOR)
- A1.02 EGRESS & FIRE SAFETY PLAN (MEZZANINE FLOOR)
- A2.01 EXISTING AND DEMOLITION PLAN
- A3.01 PROPOSED MAIN FLOOR PLAN
- A3.02 PROPOSED MEZZANINE FLOOR PLAN
- A4.01 REFLECTED CEILING PLAN (MAIN FLOOR)
- A4.02 REFLECTED CEILING PLAN (MEZZANINE FLOOR)
- A5.01 B-FREE WASHROOM
- A6.01 ASSEMBLIES AND CODE ANALYSIS

SITE INFORMATION OF BASE BUILDING:

LEGAL DISCRIPTION:
MUNICIPAL ADDRESS: 9807 & 9809, 100 AVENUE, HIGH LEVEL, , AB
CURRENT ZONING: C-1 (DOWNTOWN COMMERCIAL)

PROJECT UNIT INFORMATION:
MUNICIPAL ADDRESS: 9807 & 9809, 100 AVENUE, HIGH LEVEL, , AB

AFFECTED BUILDING WORK AREA: LOT-1. 710.84m² (7,651.41 ft²) AS EXISTING BUILDING
LOT-9. 939.95m² (10,117.53 ft²)

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E	CHANGE IN FLOOR PLAN	20/03/25	PJP	DHB



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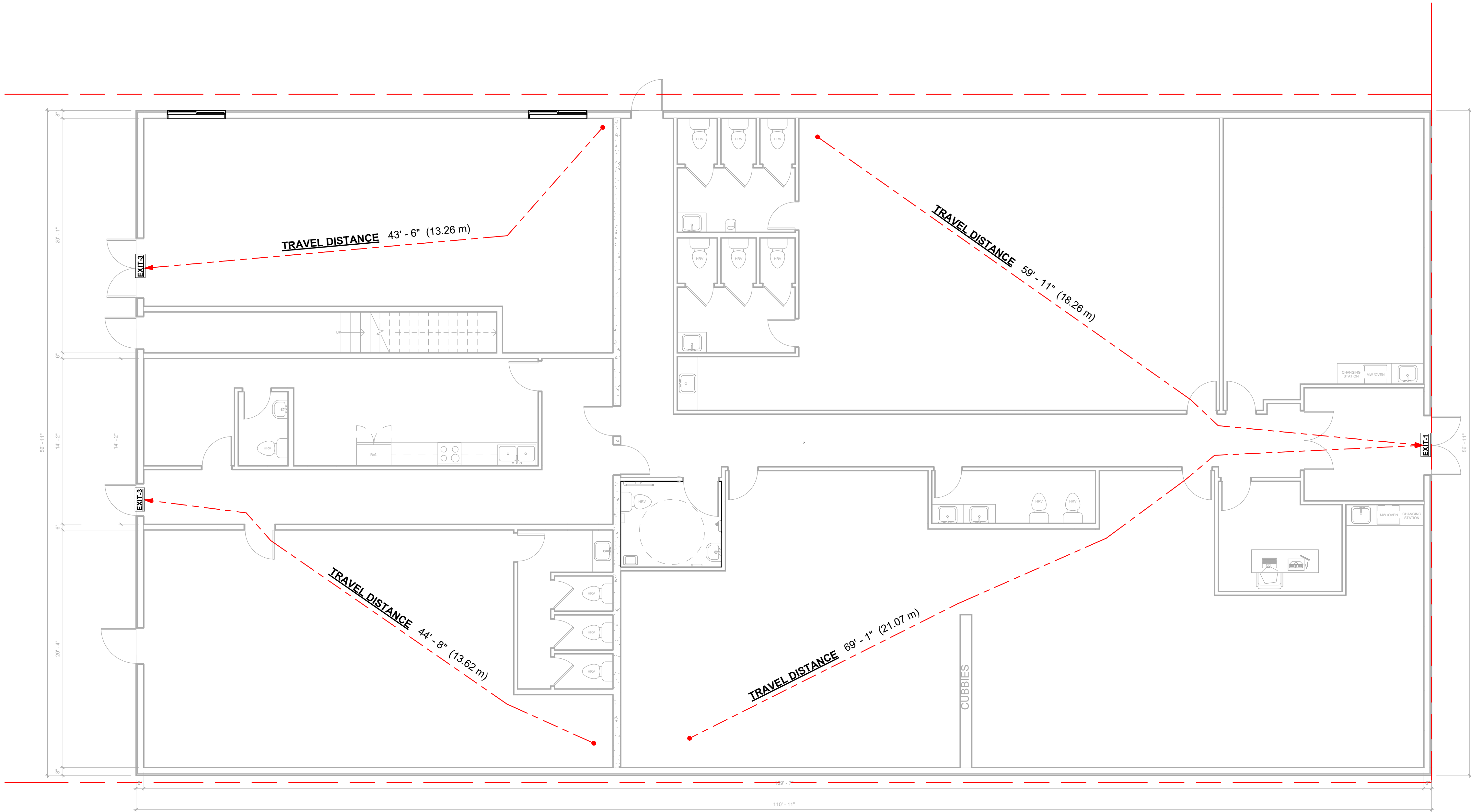
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COVER PAGE

SHEET: A0.00

SCALE

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-----> DENOTES EGREES PATH

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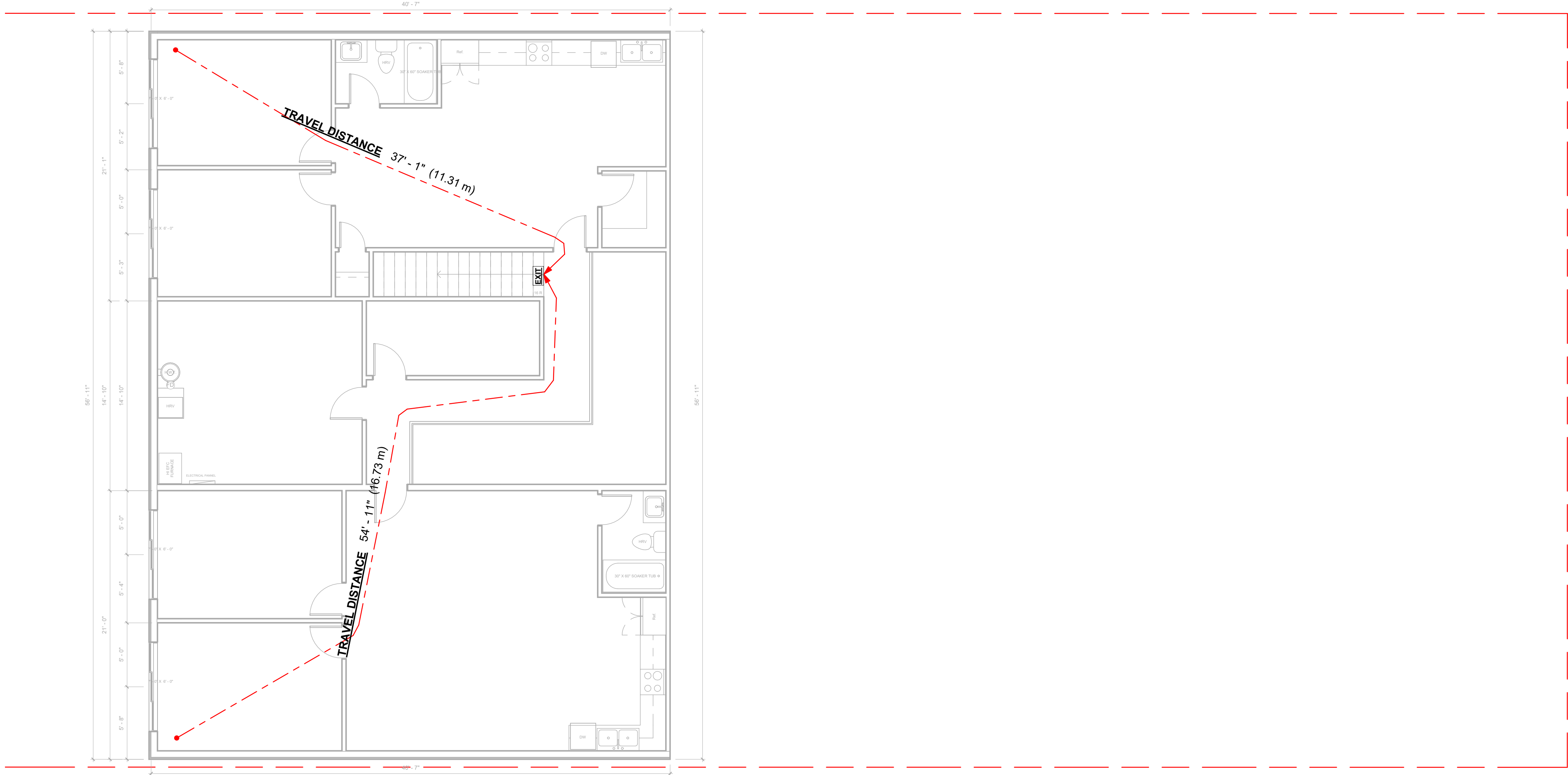
JOB# :SAD24-694-1

EGRESS & FIRE SAFETY PLAN
(MAIN FLOOR)

SHEET: A1.01

SCALE 3/16" = 1'-0"





-----> DENOTES EGREES PATH



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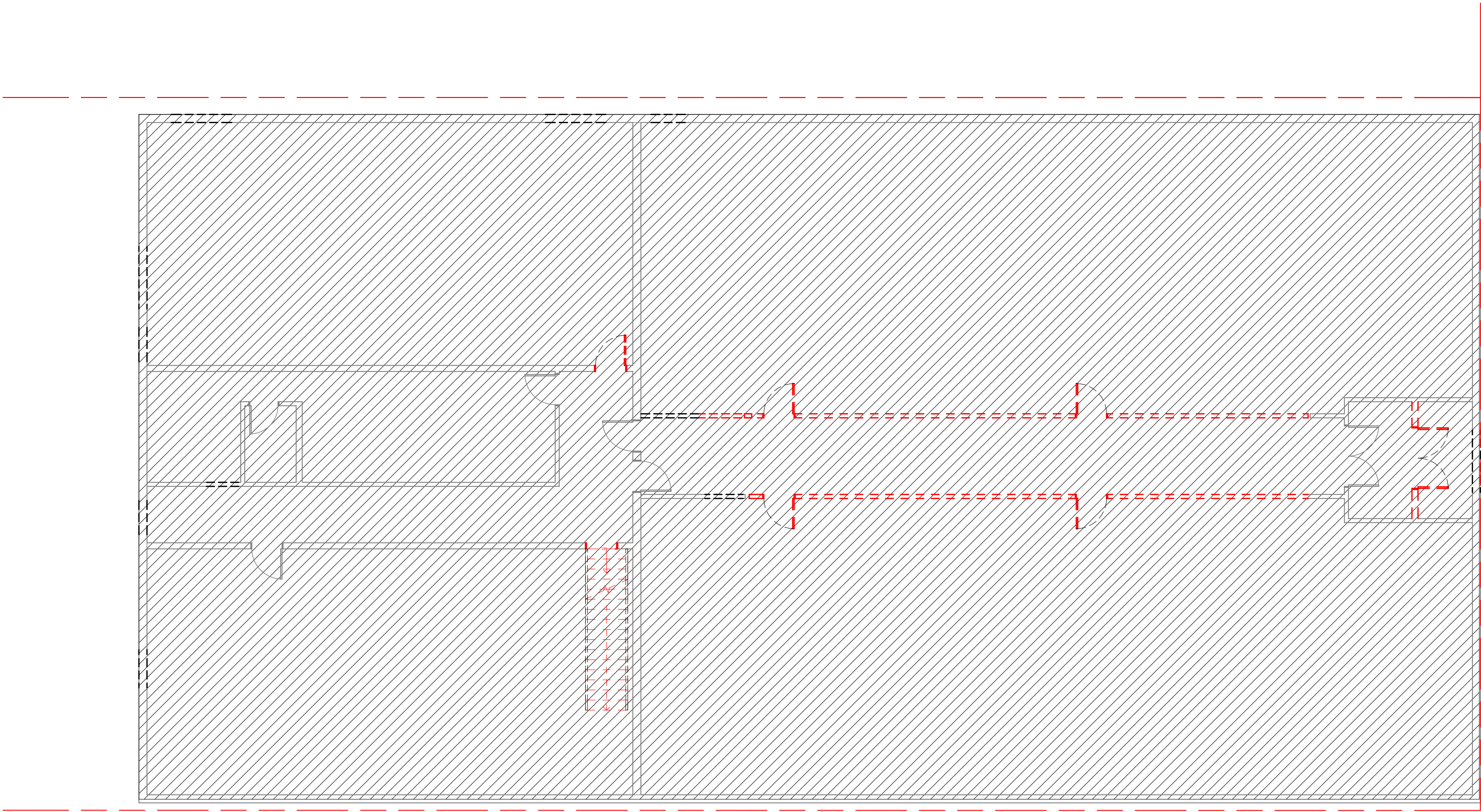
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EGREES & FIRE SAFETY PLAN
(MEZZANINE FLOOR)

SHEET: A1.02

SCALE 3/16" = 1'-0"

GROSS BUILDING AREA		
MAIN FLOOR AREA	6257 ft²	581.31 m²
MEZZANINE FLOOR AREA	2273 ft²	211.14 m²
GRAND TOTAL	8530 ft²	792.45 m²



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EXISTING AND DEMOLITION
PLAN

SHEET: A2.01

SCALE 3/16" = 1'-0"



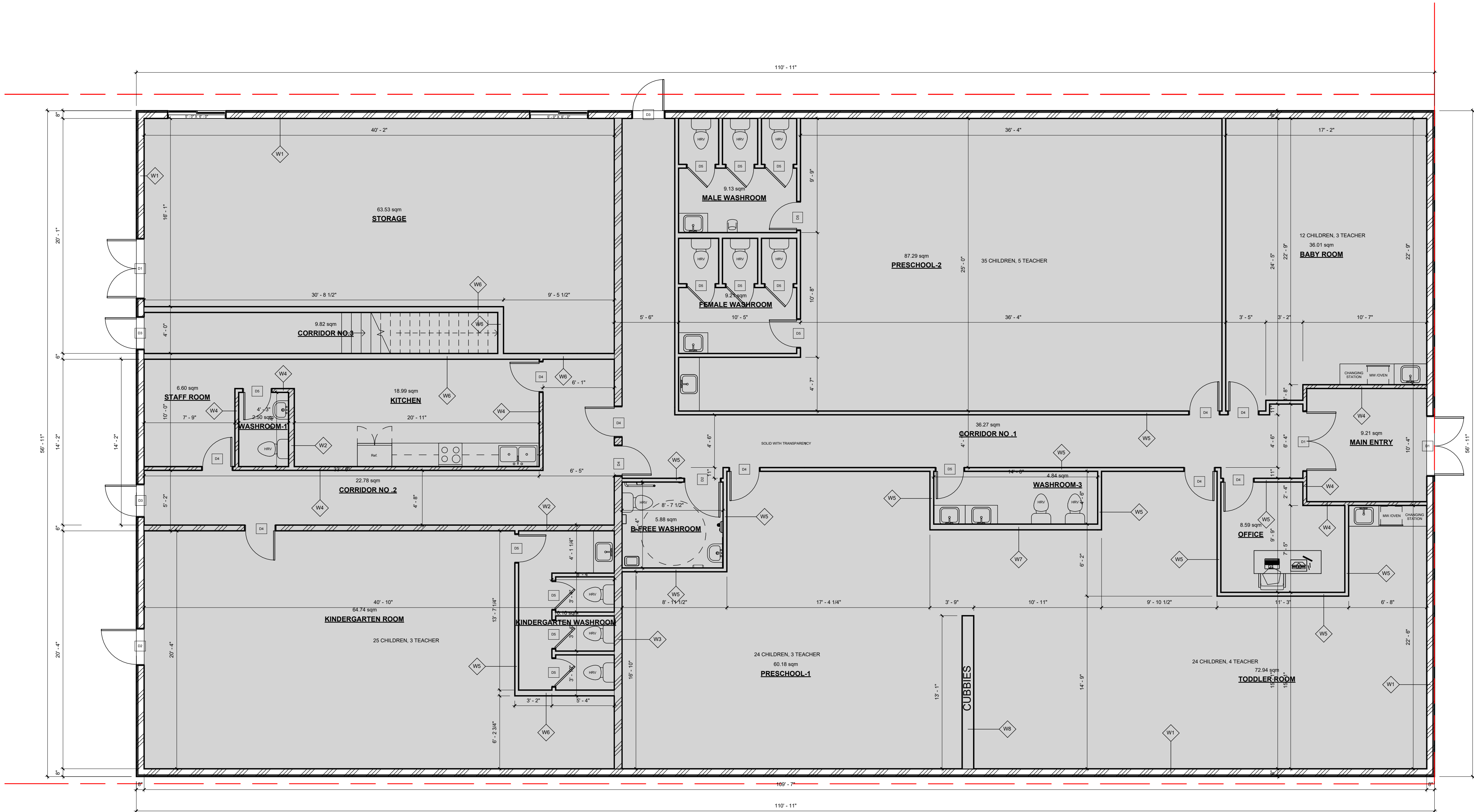
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DP25-007 (MPS-25-027)

DOOR SCHEDULE			
D1	5' - 0"	7' - 0"	4
D2	3' - 0"	6' - 8"	2
D3	2' - 8"	7' - 0"	3
D4	2' - 6"	6' - 8"	25
D5	2' - 4"	6' - 8"	16
D6	2' - 0"	6' - 8"	1
GRAND TOTAL			51



GROSS BUILDING AREA		
MAIN FLOOR AREA	6257 ft²	581.31 m²
MEZZANINE FLOOR AREA	2273 ft²	211.14 m²
GRAND TOTAL	8530 ft²	792.45 m²

MAIN FLOOR NET UNIT AREA		
NAME	AREA IN SQ.FT.	AREA IN SQ.M.
B-FREE WASHROOM	5.88 m²	6 m²
BABY ROOM	36.01 m²	36 m²
CORRIDOR NO .1	36.27 m²	36 m²
CORRIDOR NO .2	22.78 m²	23 m²
CORRIDOR NO.3	9.82 m²	10 m²
FEMALE WASHROOM	9.21 m²	9 m²
KINDERGARTEN ROOM	64.74 m²	65 m²
KINDERGARTEN WASHROOM	10.16 m²	10 m²
KITCHEN	18.99 m²	19 m²
MAIN ENTRY	9.21 m²	9 m²
MALE WASHROOM	9.13 m²	9 m²
OFFICE	8.59 m²	9 m²
PRESCHOOL-1	60.18 m²	60 m²
PRESCHOOL-2	87.29 m²	87 m²
STAFF ROOM	6.60 m²	7 m²
STORAGE	63.53 m²	64 m²
TODDLER ROOM	72.94 m²	73 m²
WASHROOM-1	2.50 m²	3 m²
WASHROOM-3	4.84 m²	5 m²
Grand total	538.68 m²	539 m²

OCCUPANCY LOAD:

1. TODDLER ROOM : TODDLER 24- TEAHCER 4
2. PRESCHOOL ROOM- 1: CHILDREN 24- TEACHER 3
3. PRESCHOOL ROOM- 2: CHILDREN 35- TEACHER 5
4. KINDERGARTEN ROOM: CHILDREN 25- TEACHER 3
5. BABY ROOM: CHILDREN 12- TEACHER 3

TOTAL 138 - CHILDREN 120 + TEACHER 18

PROPOSED DAYCARE & OSC- SECOND FLOOR PLAN

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E	CHANGE IN FLOOR PLAN	20/03/25	PJP	DHB



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PROPOSED MAIN FLOOR PLAN

SHEET: A3.01

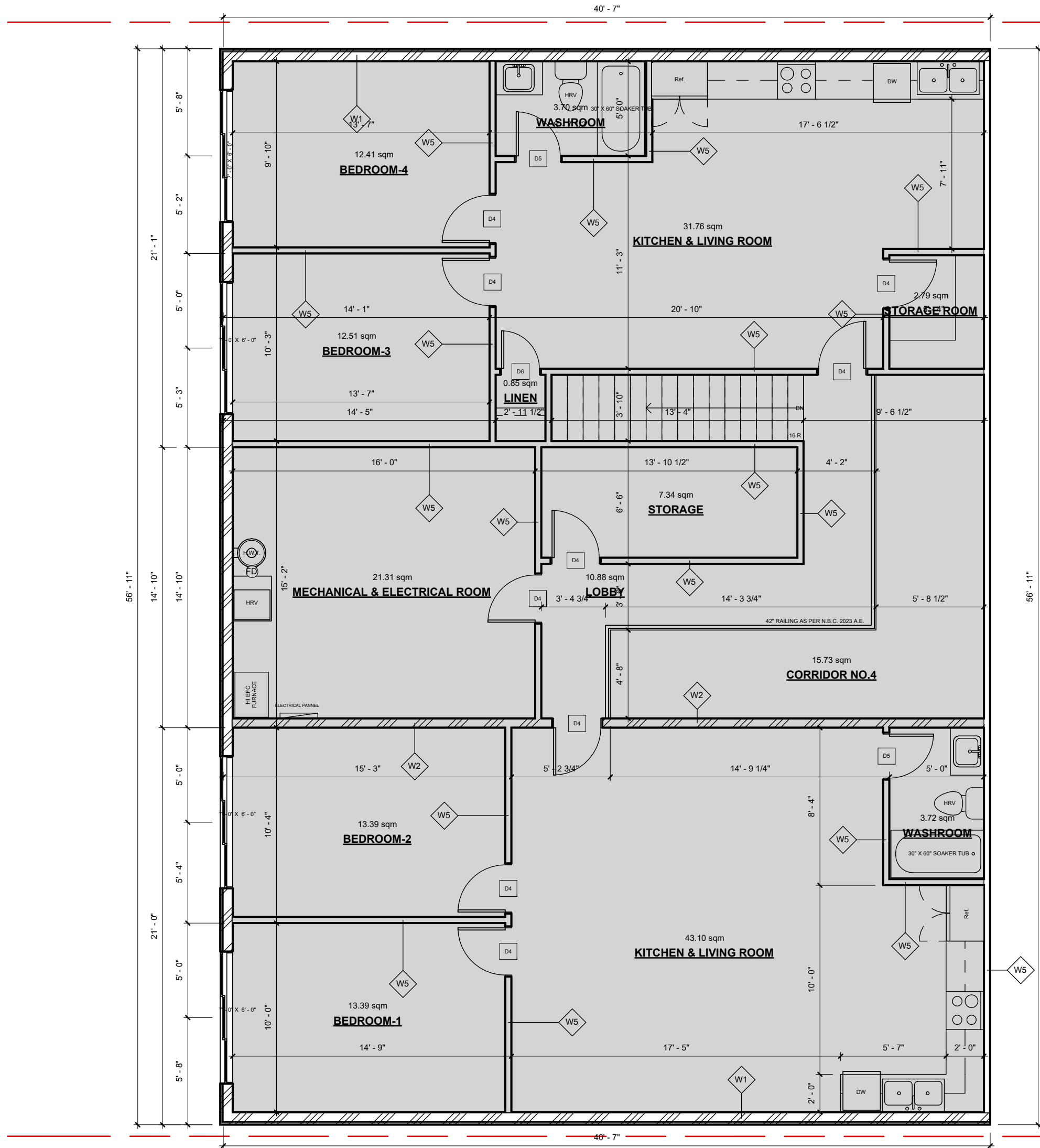
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DP25-007 (MPS-25-027)



GROSS BUILDING AREA		
MAIN FLOOR AREA	6257 ft²	581.31 m²
MEZZANINE FLOOR AREA	2273 ft²	211.14 m²
GRAND TOTAL	8530 ft²	792.45 m²

MEZZANINE FLOOR NET UNIT AREA		
NAME	AREA IN SQ.FT.	AREA IN SQ.M.
BEDROOM-1	144.17 ft²	13 m²
BEDROOM-2	144.17 ft²	13 m²
BEDROOM-3	134.70 ft²	13 m²
BEDROOM-4	133.57 ft²	12 m²
CORRIDOR NO.4	169.30 ft²	16 m²
KITCHEN & LIVING ROOM	463.89 ft²	43 m²
KITCHEN & LIVING ROOM	341.84 ft²	32 m²
LINEN	9.18 ft²	1 m²
LOBBY	117.11 ft²	11 m²
MECHANICAL & ELECTRICAL ROOM	229.33 ft²	21 m²
STORAGE	78.99 ft²	7 m²
STORAGE ROOM	29.98 ft²	3 m²
WASHROOM	40.00 ft²	4 m²
WASHROOM	39.79 ft²	4 m²
Grand total	2076.04 ft²	193 m²



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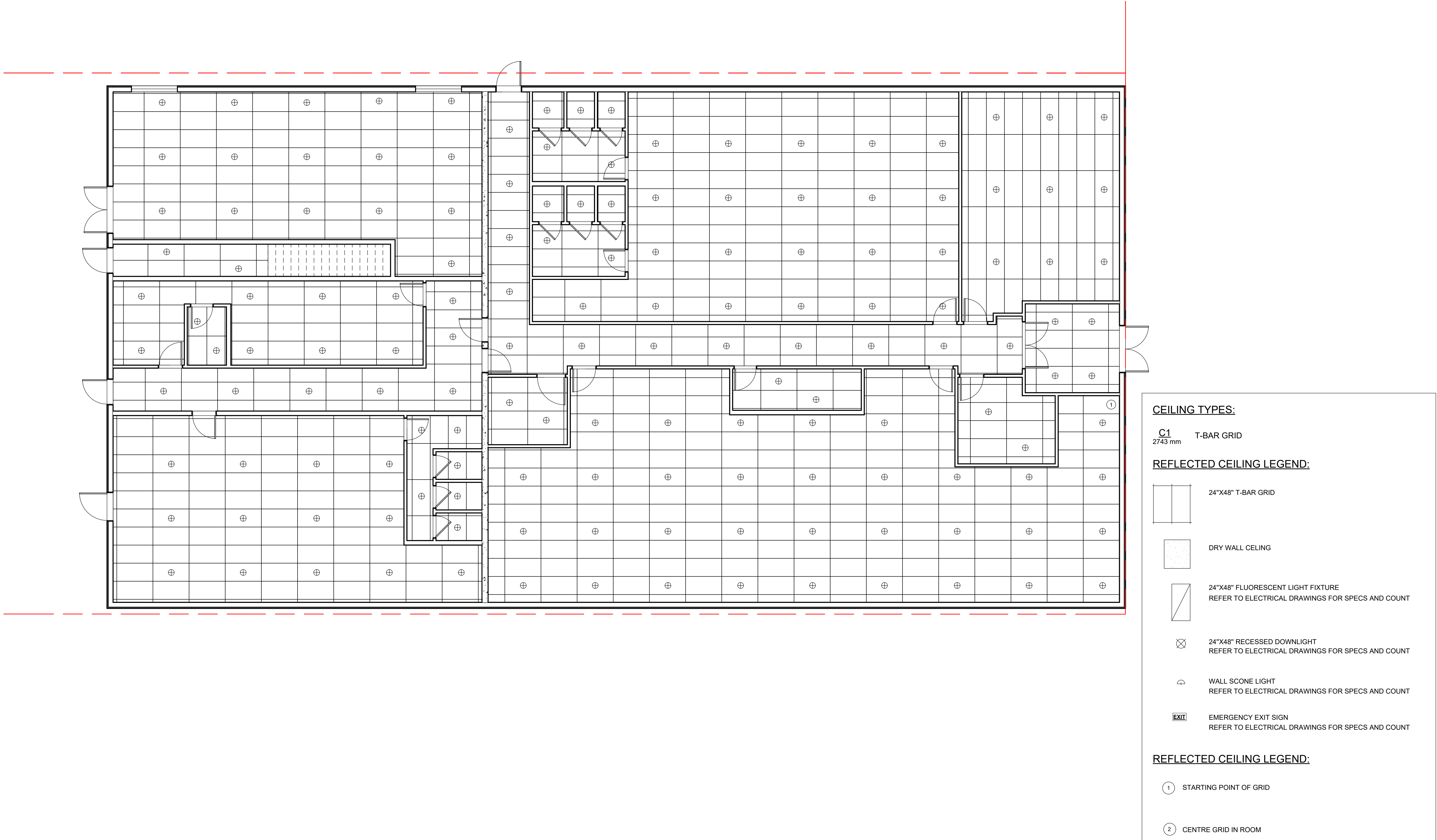
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PROPOSED MEZZANINE FLOOR PLAN

SHEET: A3.02

SCALE 3/16" = 1'-0"

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REFLECTED CEILING PLAN
(MAIN FLOOR)

SHEET: A4.01

SCALE 3/16" = 1'-0"

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CEILING TYPES:

C1
2743 mm

T-BAR GRID

REFLECTED CEILING LEGEND:

24"X48" T-BAR GRID

DRY WALL CELING

24"X48" FLUORESCENT LIGHT FIXTURE
REFER TO ELECTRICAL DRAWINGS FOR SPECS AND COUNT

24"X48" RECESSED DOWNLIGHT
REFER TO ELECTRICAL DRAWINGS FOR SPECS AND COUNT

WALL SCONE LIGHT
REFER TO ELECTRICAL DRAWINGS FOR SPECS AND COUNT

EMERGENCY EXIT SIGN
REFER TO ELECTRICAL DRAWINGS FOR SPECS AND COUNT

REFLECTED CEILING LEGEND:

1 STARTING POINT OF GRID

2 CENTRE GRID IN ROOM

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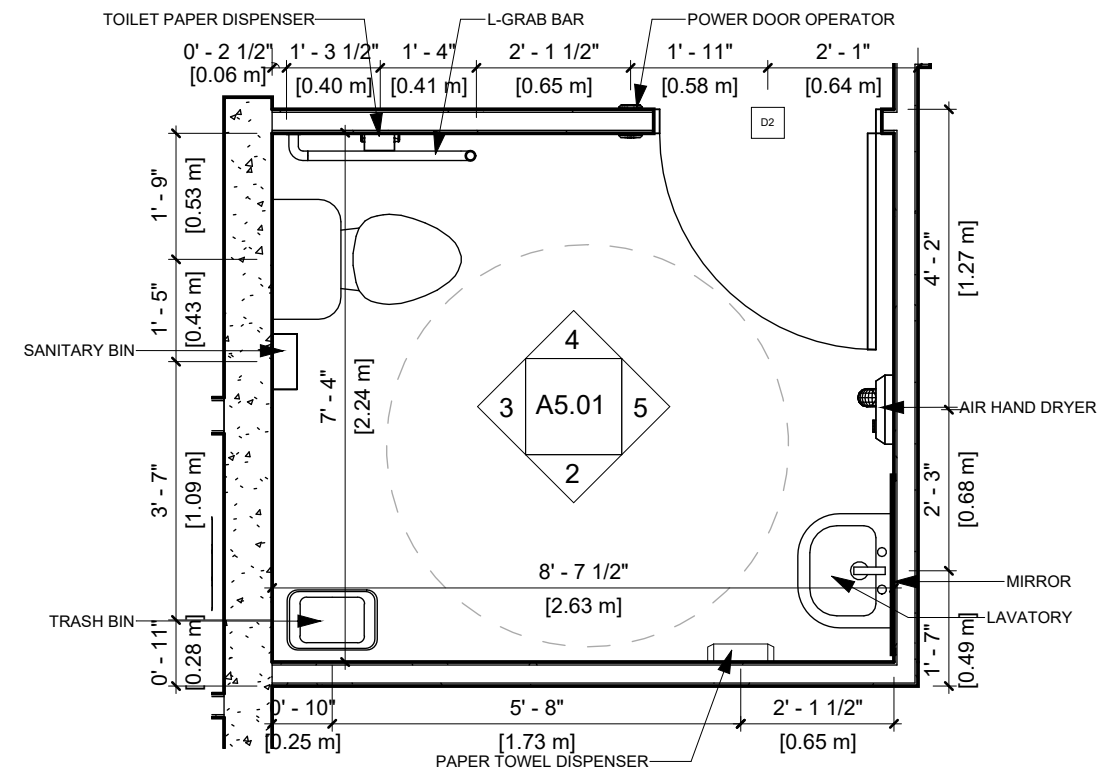
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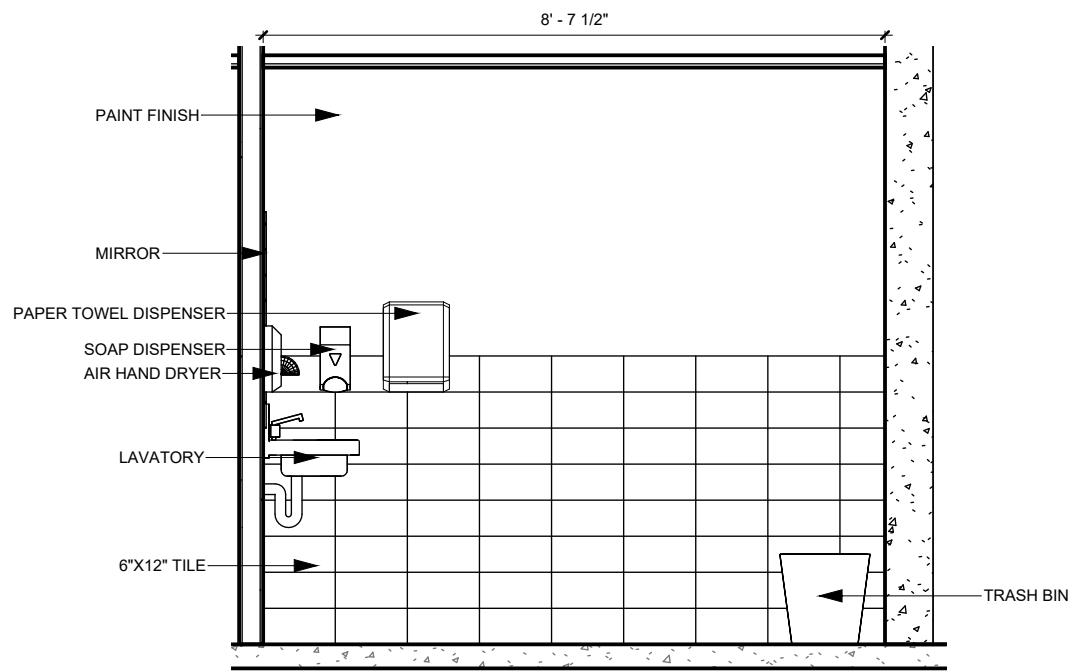
**REFLECTED CEILING PLAN
(MEZZANINE FLOOR)**

SHEET: A4.02

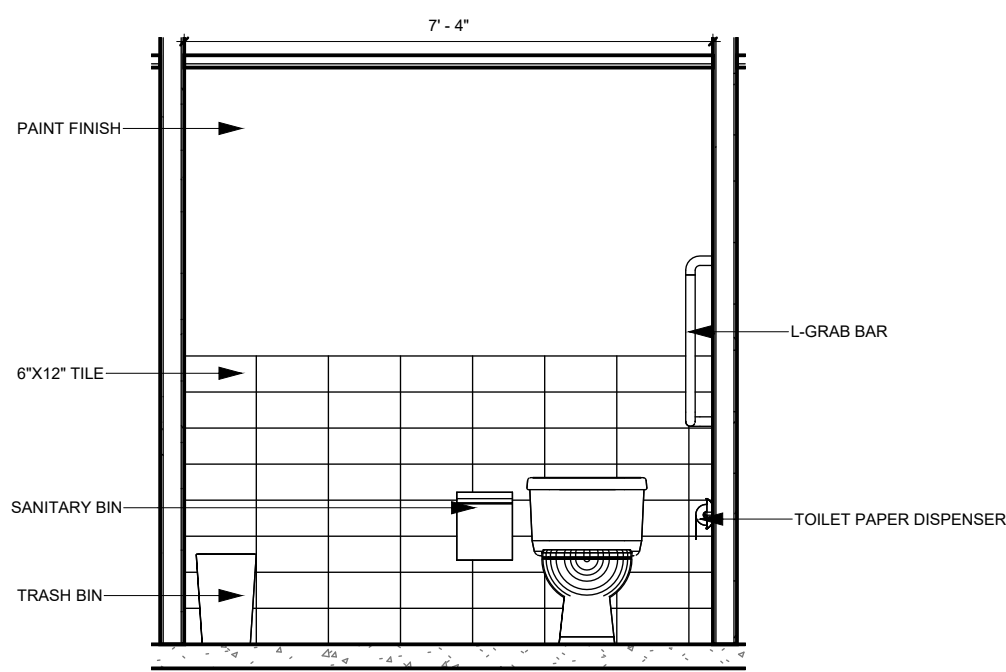
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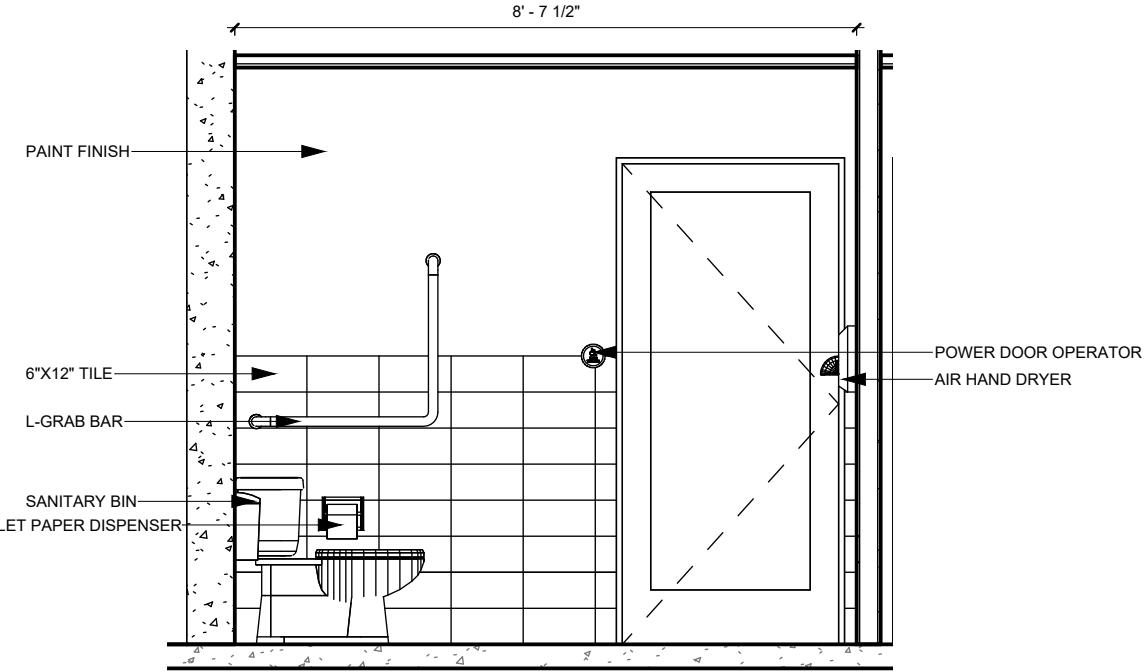
1 B-FREE WASHROOM
3/8" = 1'-0"



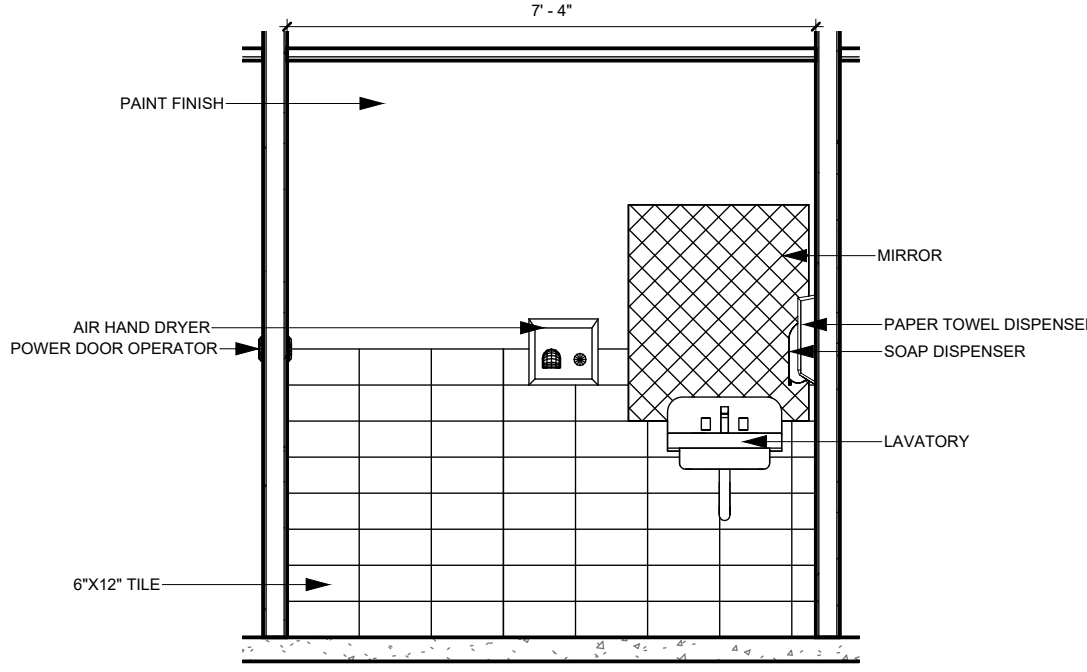
2 Elevation 1 - a
3/8" = 1'-0"



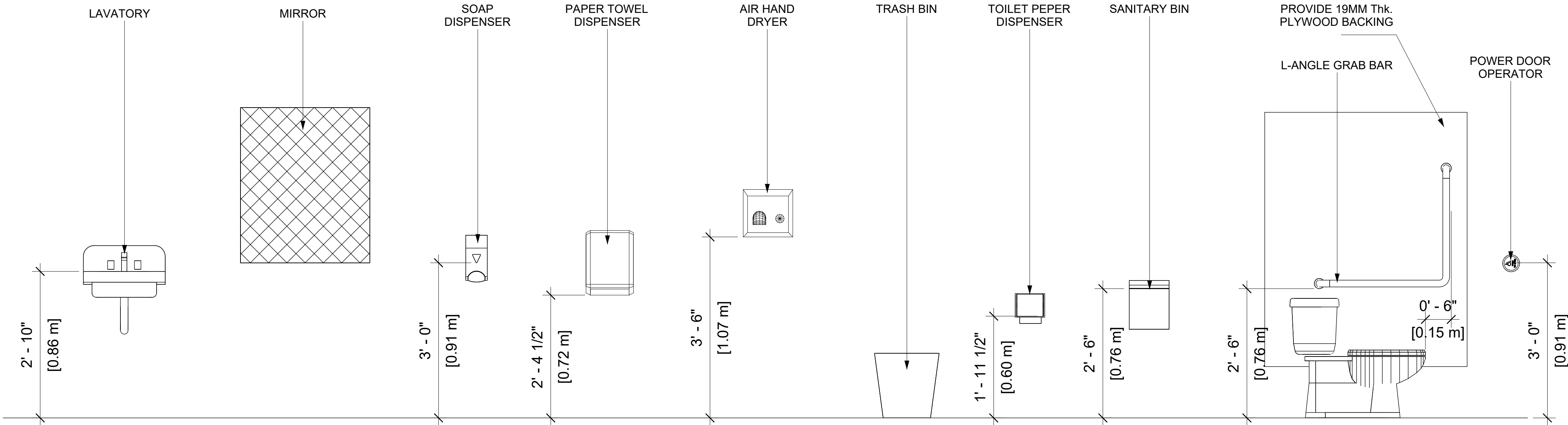
3 Elevation 1 - b
3/8" = 1'-0"



4 Elevation 1 - c
3/8" = 1'-0"



5 Elevation 1 - d
3/8" = 1'-0"



6 B-FREE DETAILS
3/4" = 1'-0"

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B-FREE WASHROOM

SHEET: A5.01

SCALEAs indicated

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DP25-007 (MPS-25-027)

PARTITION LEGEND:

W1 EXISTING 1 HOUR F.R.R. (ABC 2019 APPENDIX "D" TABLE D-2.3.4 A)
EXTERIOR FINISH (REFER TO ELEVATIONS AND DETAILS)
2" RIGID INSULATION
AIR BARRIERE MEMBRANE
5/8” EXTERIOR GYPSUM BOARD SHEATHING
RSI 5.44 BATT INSULATION
8" METAL STUD
VAPOUR BARRIERE MEMBRANE
2 LAYERS 5/8” TYPE "X" GYPSUM WALL BOARD

W2 EXISTING 1 HOUR F.R.R. (ABC 2019 APPENDIX "D" TABLE D-2.3.4 A)
½” GYPSUM BOARD
6” STEEL STUDS
½” GYPSUM BOARD
HEIGHT TO UNDERSIDE OF CEILING

W3 EXISTING CONCRETE WALL
6" CONCRETE POURING WALL

W4 EXISTING 1 HOUR F.R.R. (ABC 2019 APPENDIX "D" TABLE D-2.3.4 A)
1/2” GYPSUM BOARD
3 5/8” STEEL STUDS
1/2” GYPSUM BOARD
HEIGHT TO UNDERSIDE OF CEILING

W5 4" PARTITION WALL
1/2” GYPSUM BOARD
3 5/8” STEEL STUDS
1/2” GYPSUM BOARD
HEIGHT TO UNDERSIDE OF CEILING

W6 6" PARTITION WALL
½” GYPSUM BOARD
6” STEEL STUDS
½” GYPSUM BOARD
HEIGHT TO UNDERSIDE OF CEILING

W7 PLUMBING PARTITION
½” GYPSUM BOARD
6” STEEL STUDS
BATT INSULATION TO CAVITY
½” GYPSUM BOARD
HEIGHT TO UNDERSIDE OF CEILING

W8 CUBBIES 5' HEIGHT X1'WIDE

BUILDING CODE REVIEW:

From NBC-2023 Alberta Edition

1. Building Height: Partial Two Storey Existing Base Building
2. Building Area: 581.31 sq.m (6257 sq.ft)
3. Sprinkled: No
4. Construction: Mixed
5. Affected Project Area:
a. Main Floor: 581.31m² (6,257 ft²)
- 6.Occupancy: 138

a. Main Floor: TOTAL 138- CHILDREN 120 + TEACHER 18

Major Occupencies for Base building and Tenant spaces:A2 (Daycare) & C (residential)

6. Water closet is determined in accordance with Table 3.7.2.2-A.
Total: 13 Water Closet in main floor, 1 Water Closet in B-Free Universal WR.
12 Water Closet (Other Washrooms)

DAYCARE & OSC

9807 & 9809, 100 AVENUE,
HIGH LEVEL, , AB

No.	Description	dd/mm/yy	dwn by	chk by
A	SITE PLAN	13/02/25	PHP	DHB
B	ISSUED FOR PERMIT	13/02/25	PHP	DHB
C	ISSUED FOR PERMIT	26/02/25	AVL	DHB
D	ISSUED FOR PERMIT	15/03/25	PHP	DHB
E	CHANGE IN FLOOR PLAN	20/03/25	PJP	DHB



#206, 3132 Parsons Road NW, Edmonton, AB, T6N 1L6
(587) 315-6887
design@sattengg.com
www.sattengg.com

JOB# :SAD24-694-1

**ASSEMBLIES AND CODE
ANALYSIS**

SHEET: A6.01

SCALE







